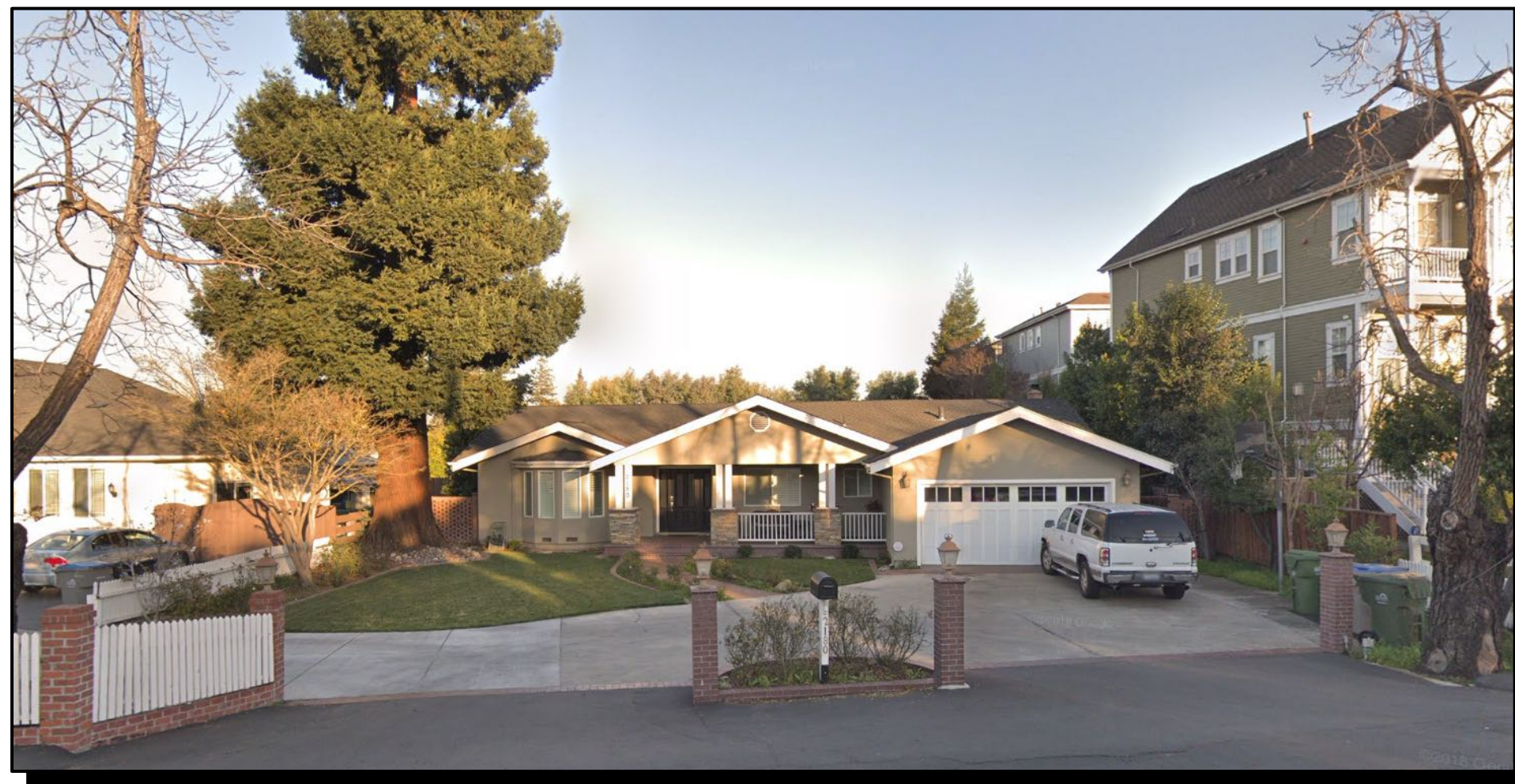


SIMAS WORKSHOP / GARAGE



SITE PLAN NOTES

PROVIDE POSITIVE DRAINAGE AWAY FROM NEW FOUNDATION. (SLOPE FINISH GRADE AWAY MINIMUM 2% TYPICAL).

IF REQUIRED, ALL ROOF DOWNSPOUTS SHALL BE CONNECTED TO AN APPROVED UNDERGROUND DRAINAGE SYSTEM WITH TERMINATION TO STORM DRAIN OR A DRYWELL.

VERIFICATION OF EXISTING OR NEW LOT STAKES SHALL BE PROVIDED PRIOR TO ISSUANCE OF A BUILDING PERMIT. EXISTING LOT STAKES MUST BE EXPOSED, VERIFIED, AND INDICATED ON BUILDING PLANS; OR NEW LOT STAKES MUST BE SET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR. IF REQUIRED BY STATE LAW, CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL FILE A RECORD- OF-SURVEY MAP.

IF ANY EARTH WORK AND/OR GRADING IS DONE ON THE PROPERTY OR ANY ACCESS ROADS, OWNER OR CONTRACTOR SHALL MAINTAIN AN UNINTERRUPTED FLOW OF WATER IN SWALES AND NATURAL COURSES, UPON COMPLETION OF THE PROJECT. PROPERTY OWNER IS RESPONSIBLE FOR THE ADEQUACY OF ANY DRAINAGE FACILITIES AND FOR THE CONTINUED MAINTENANCE THEREOF IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY.

CONSULTING GEOLOGIST SHALL OBSERVE AND PROVIDE APPROVAL LETTER PRIOR TO FINAL INSPECTION.

ALL NEW ON-SITE UTILITIES, MAINS, AND SERVICES (IF APPLICABLE) SHALL BE PLACED UNDERGROUND AND EXTENDED TO SERVE THE PROPOSED RESIDENCE. OFF-SITE WORK SHALL BE COORDINATED WITH ANY UNDER GROUNDING TO SERVE OTHER PROPERTIES IN THE IMMEDIATE AREA.

PROPOSED ADDITION

BUILDING CODES AND REGULATIONS

2016 CRC CALIFORNIA RESIDENTIAL CODE
 2016 CPC CALIFORNIA PLUMBING CODE
 2016 CMC CALIFORNIA MECHANICAL CODE
 2016 CEC CALIFORNIA ELECTRIC CODE
 2016 CALIFORNIA CODE FOR BUILDING CONSERVATION
 (NOTE: CHAPTER 5 AND APPENDIX 1, 5 & 6 ADOPTED)
 2016 BUILDING ENERGY EFFICIENCY STANDARDS
 2016 CGBC CALIFORNIA GREEN BUILDING STANDARDS CODE
 2016 CFC CALIFORNIA FIRE CODE
 ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REGULATIONS

SCOPE OF WORK

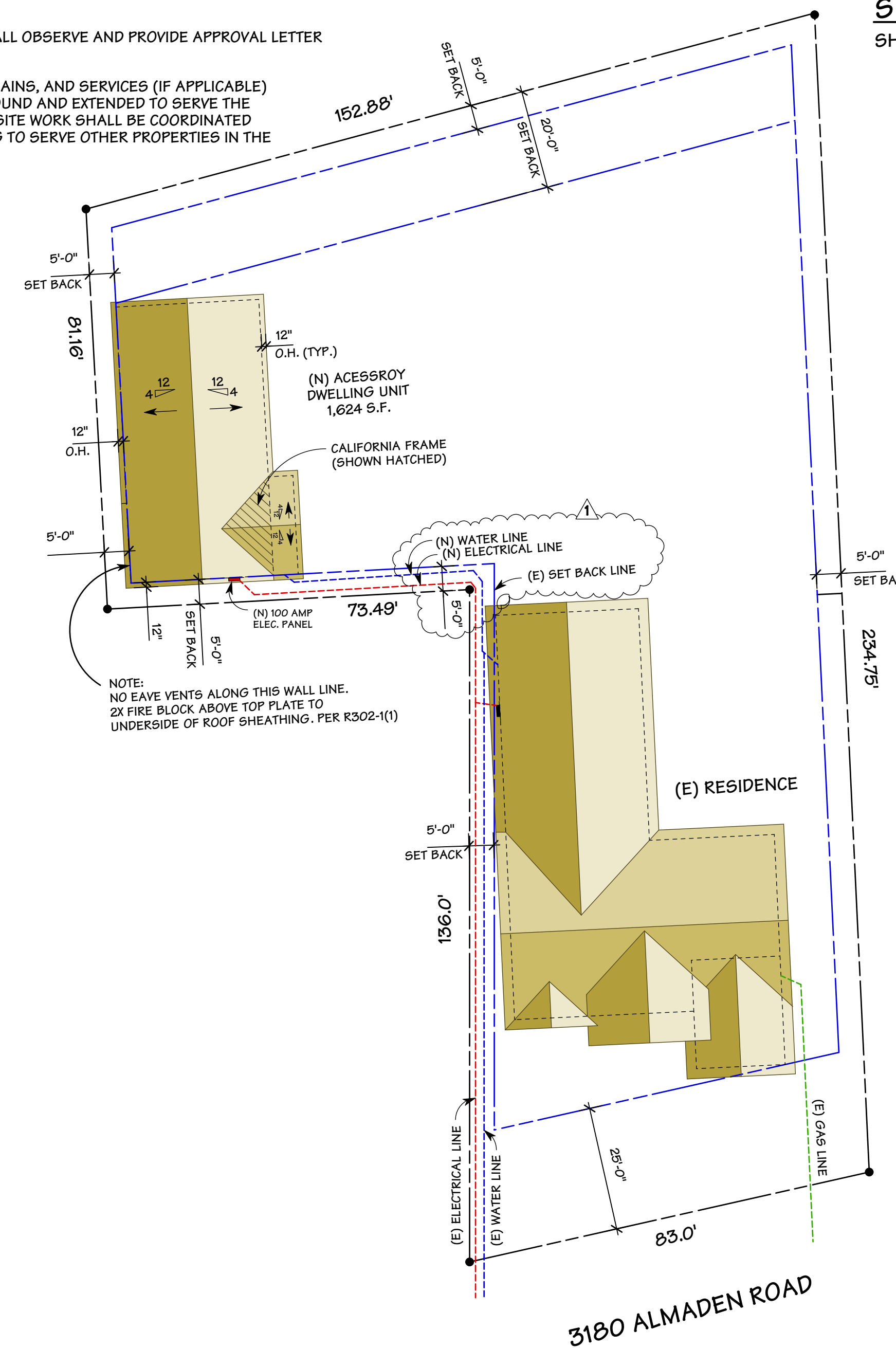
NEW 1,044.0 S.F. ADU ACCESSORY DWELLING UNIT ADU WITH TWO BEDROOMS, ONE BATHROOM, KITCHEN AND 572.0 S.F. ONE - TWO CAR GARAGE WITH 204.5 S.F. PORCH.

SITE DATA

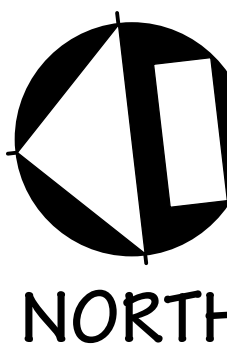
A.P.N.	455-18-104
LOT SIZE	24,569.7 S.F.
ZONING	R1-B
(N) ADU LIVING AREA	1,044.0 S.F.
(N) GARAGE	572.0 S.F.
TOTAL AREA	1,616.0 S.F.
(N) PORCH AREA	204.5 S.F.

SHEET INDEX

SHT.A-1	SITE PLAN
A-2	EXTERIOR ELEVATIONS / SECTION
A-3	PROPOSED FLOOR PLAN
A-4	FOUNDATION PLAN / FRAMING PLAN
A-4.1	FASTENING SCHEDULE SHEET
A-5	ELECTRICAL / MECHANICAL / PLUMBING PLAN
A-6	DETAILS
CG-1	CALIFORNIA GREEN WORKSHEET -1
CG-2	CALIFORNIA GREEN WORKSHEET -2



SITE W/ ROOF PLAN



NORTH

SCALE: 1" = 20'-0"

BULLETIN #213 - ADU Inspection Checklist Page 2

SECTION C. PLUMBING - WASTEWATER/VENT	Enter Information Here or Check When Completed
Note: A 4-inch Sewer Line is required if there are 4 or more Toilets or if a Sewage Ejector Pump is used.	
14. Provide a Site Plan showing the Point of Connection to the Sewer Line. Show the Pipe Size and the Type of Material to be installed.	CHECK
15. The California Plumbing Code requires an ADU to have a Clothes Washer Connection. Show the location of the Clothes Washer Connection on the Plot Plan.	CHECK
SECTION D. PLUMBING - GAS	Enter Information Here or Check When Completed
EFFECTIVE JANUARY 1, 2020: NATURAL GAS INFRASTRUCTURE IS BANNED IN ALL SINGLE-FAMILY AND ADU CONSTRUCTION. ATTACHED ADUs AND THE CONVERSION OF AN EXISTING STRUCTURE TO AN ADU ARE EXEMPT.	
Note: If connecting to the Main Residence Gas System, you must perform a Gas Pressure Test on the complete system.	
16. Enter total BTU Demand of all Gas Appliances for the ADU:	BTU
17. If connecting the ADU to the Gas Line of the Main Residence gas piping system, enter the total BTU Demand for the existing gas appliances in the Main Residence. Leave blank if not applicable.	BTU
18. If providing a Dedicated Gas Line from the Main Residence gas meter to the ADU, enter the total Developed Length from the Gas Meter to the furthest Gas Appliance Outlet in the ADU.	feet
19. Enter the Size of the Gas Line from the Main Residence to the ADU:	inches
20. Provide a Site Plan that shows the Point of the Gas Connection from the Main Residence to the Point of Connection at the ADU.	CHECK
21. Provide a Detail of Underground Gas Piping Material and Burial Depth. Underground gas piping must be approved for direct burial. Note: Installation of Gas Service Laterals under or through Structures, Building Foundations, or Decks is prohibited.	CHECK
SECTION E. MECHANICAL	Enter Information Here or Check When Completed
22. Bathroom Exhaust Fans shall be listed/rated for a minimum of 25cfm for continuous use and 50cfm for intermittent use.	CHECK
23. Bathroom Exhaust Fans must be equipped with a Humidity Control.	CHECK
24. Kitchen Exhaust Fans must be listed for the intended use and must be a minimum of 100 cfm.	CHECK
25. Kitchen Exhaust must be ducted to the Exterior of the Dwelling and be equipped with a Backdraft Damper.	CHECK
26. The ADU must have an independent Heating Source. The return air is prohibited from communicating with the Main Residence.	CHECK
27. Ventilation air is required per California Mechanical Code (CMC) section 402.1. For new structures, provide outside air at a minimum rate of 0.06 cfm per square foot of Habitable Area.	CHECK
28. Infiltration shall not be considered in an attached ADU to meet outdoor air requirements.	CHECK

Inspection Checklist for ADUs

Avoid costly mistakes by planning ahead for a successful inspection

This bulletin is intended for the licensed general contractor of the accessory dwelling unit (ADU). It addresses the most common concerns found during inspections of ADU projects. Learn more about ADUs at www.sanjoseca.gov/ADUs.

IMPORTANT: Read this bulletin before you begin the mechanical, electrical, and plumbing elements of the project. Elements improperly designed at the start of the project can result in significant additional project costs.

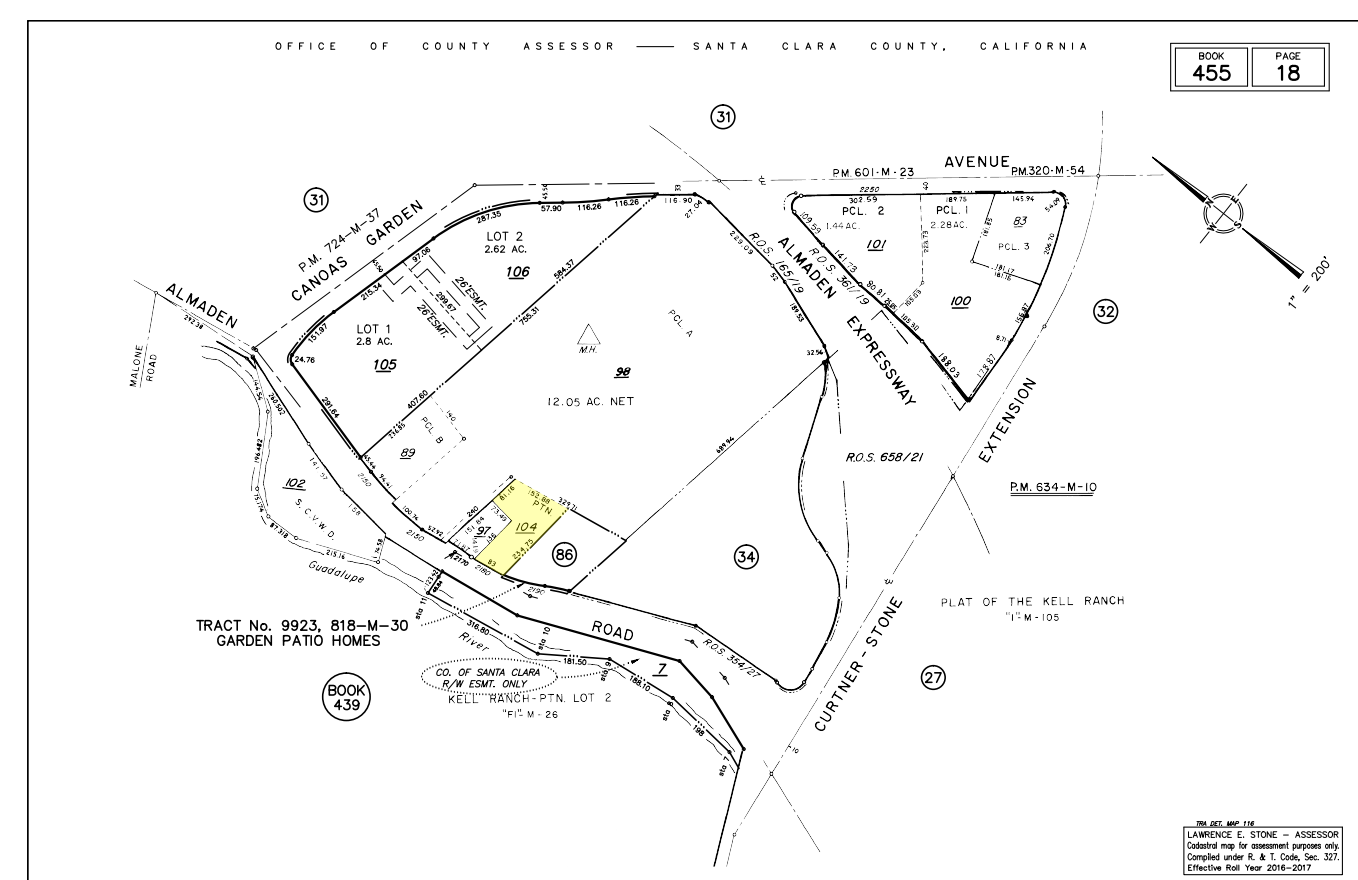
INSTRUCTIONS: Complete this checklist and provide the completed checklist and Site Plans as indicated to the Building Inspector at the first inspection.

SECTION A. ELECTRICAL	Enter Information Here or Check When Completed
Note: Main Service Panel ampacity rating must meet or exceed the combined calculated load of the Main Residence plus the ADU.	
1. Enter an electrical load calculation (amp rating) for the Main Residence:	amps
2. Enter ampacity rating for the Main Electrical Panel of the Main Residence: Main Breaker Size in amps, example: 100 amps, 150 amps, etc.	amps
3. Enter electrical load calculation (amp rating) for the new ADU:	amps
4. Enter ampacity rating of the Feeder Disconnect serving the ADU (panel electrical breaker size):	amps
5. Enter size of the Electrical Feeder Circuit Wiring from the electrical panel at the Main Residence (Disconnect Breaker) to the ADU:	w/ft
SECTION B. PLUMBING - WATER	Enter Information Here or Check When Completed
6. Quantity of Plumbing Fixtures (sinks, toilets, showers, hose bibs, etc.) in the Main Residence:	qty
7. Quantity of Plumbing Fixtures for the new ADU:	qty
8. Water Pressure in the main line:	psi
9. Distance from the Water Meter to the furthest plumbing fixture in the ADU:	feet
10. Size of Water Service Line from the water meter to the Main Residence:	inches
11. Size of Water Service Line from the water meter to the ADU:	inches
12. Size of Water Branch Line between ADU and the Main Residence, only if supplying the ADU from the Main Residence water piping. Leave blank if not applicable.	inches
13. Provide a Site Plan showing the Water Service Lines. If connecting to the Main residence water piping, show the Point of Connection. For both water service lines, show Pipe Size and Type of Material to be installed.	CHECK

continued >

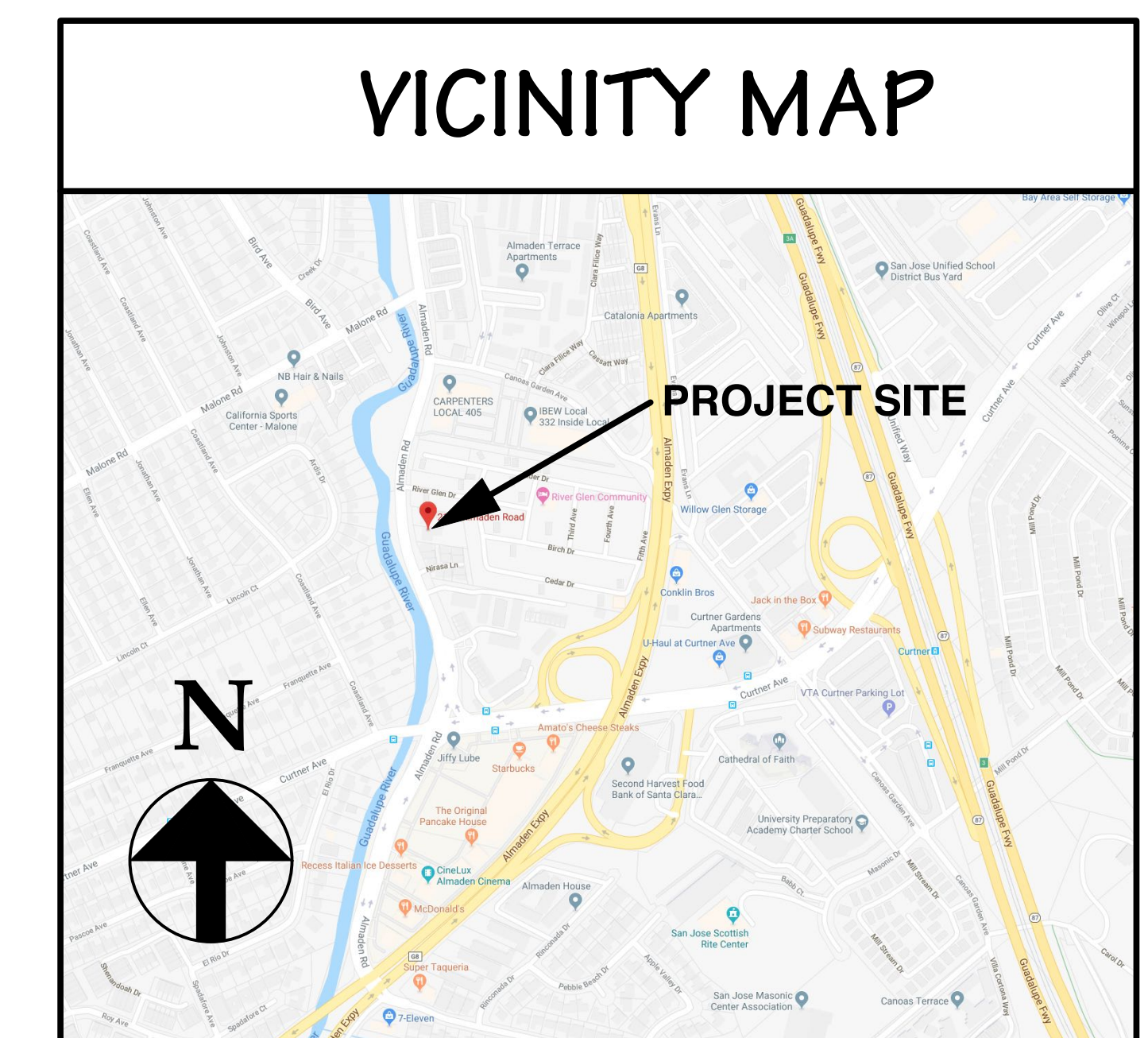
Development Services Permit Center | San Jose City Hall | 200 E. Santa Clara St., San Jose, CA 95113 408-535-3555 www.sanjoseca.gov/permcenter

Development Services Permit Center | San Jose City Hall | 200 E. Santa Clara St., San Jose, CA 95113 408-535-3555 www.sanjoseca.gov/permcenter



APN MAP

455-18-104



OWNER: JOE SIMAS

2180 ALMADEN ROAD
 SAN JOSE, CA. 95125

DESIGN BY:
 PACIFIC BLUE DEVELOPMENTS
 Michael S. Radu
 8000 Almaden Road
 San Jose, CA 95125
 (408) 504-6525 Cell



REVISION:
 PER CITY COMMENTS DATED 12/10/2020

SITE W/ ROOF PLAN
 VICINITY MAP
 PLAN NOTES

DRAWN BY
 Michael S. Radu

CHECKED BY
 PBD

JOB NO.
 18-23

DATE
 11/23/2021

SCALE
 AS SHOWN

SHEET

A-1